

# Afton, Iowa

Iowa Architectural Foundation  
Final Presentation  
Community Design Program  
December 3, 2012  
[WWW.IOWAARCHFOUNDATION.ORG](http://WWW.IOWAARCHFOUNDATION.ORG)

# Existing Conditions





# Existing Conditions



# Existing Architecture



Iowa Architectural Foundation Community Design Program



# SWOT Analysis - Strengths

- Entrance Signage
- Local Business
  - Coop, Bunn, Bank
  - Insurance, Casey's, Restaurants, Beauty Salons
- Quality Schools
- Recreation
  - 3 Mile and 12 Mile Lake
  - Walking Trail
  - Golf Course
  - Hunting and Fishing
  - Afton Lake and Local Parks
- Town Square

# SWOT Analysis - Strengths

- Summer Activities
  - Pre 4th
  - Movie and Lawn Chair Nights
  - Farmer's Market
  - Meal Programs
- New Community Center
- Community Motivation – Hometown Hope
- Union County Fair
- Small Town Community (but still close to Creston and Osceola)
- Historic Buildings



# SWOT Analysis - Weaknesses

- Lack of Wayfinding
  - Highway 34
  - Highway 169
  - Inside City Limits
- Lack of Funding
- Patchwork Town Square Layout
- Lack of Pedestrian Crossway (Highway 169)
  - Dangerous Thru Traffic

# SWOT Analysis - Weaknesses

- Lack of Grocery Store
- Building Maintenance Issues
- Bedroom Community



# SWOT Analysis - Opportunities

- Extending Existing Walking Trail
- Historic Storefront Improvements
- More Family Friendly Square
  - Updated Layout
  - Splashpad
- Pedestrian Access Along Highway 169
- Create Draw for Recreational Visitors
- Creating Wayfinding Signage

# SWOT Analysis - Threats

- Lack of Funding
- DOT Regulations
- Volunteerism Rate / Common Cause
- Lack of Economic Opportunities



# Corridor Solutions/Suggestions

## 1. Highway 169 Corridor Improvements

- Creating Walking Path Trail Extension Throughout Community
  - Extend Through Town Square
  - Loop Connecting to Afton Lake and Golf Course
  - Loop Connecting to School and Recreation Park
- Creating Wayfinding Signage from Highways and Throughout Town
  - North Entrance Sign Improvements
  - Directional Wayfinding Signs Along 169
- South Alley Improvements

# Corridor Solutions/Suggestions

## 2. Town Square

- Creating sense of place or Identity for Town Square and Surrounding Area
  - Corner Plaza at Highway Crossing
  - Creating Vendor Market Walkway for Square Events
  - Updating Electrical Capacity in Town Square
- Consolidate Square Amenities into Quadrants
  - Playground Equipment
  - Basketball Court
  - Splashpad

# Corridor Solutions/Suggestions

## 3. Streetscape

- Resolving Pedestrian Crossway on Highway 169
- Improving Sidewalks and Adding Pavers
- Streetscape Accessories
- Town Square Banners and Planters
- Additional Period Lighting for Cohesion with Town Square



# Corridor Solutions/Suggestions

## 4. Storefront Façades

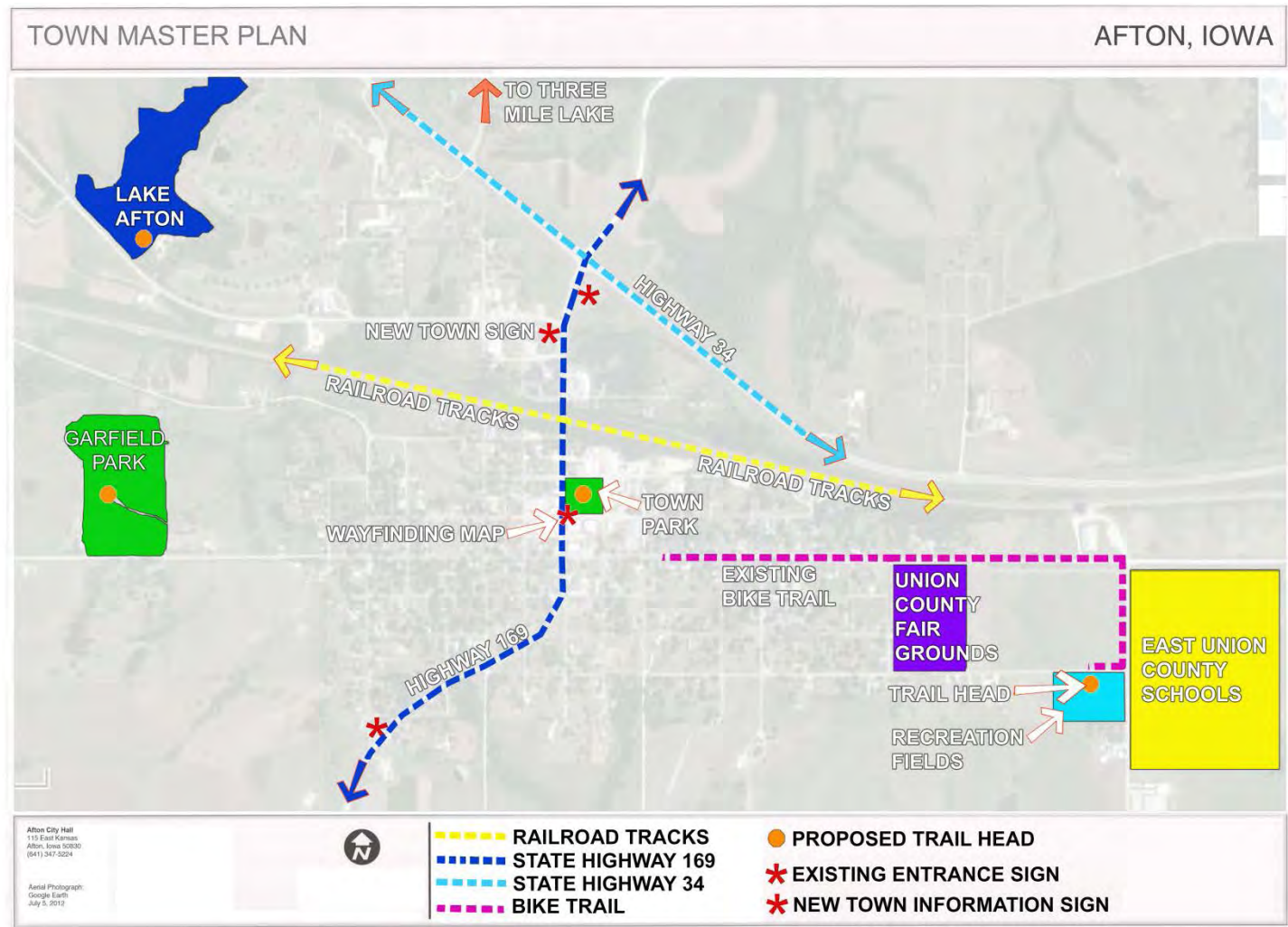
- Improvements to draw on Historic Roots
- Historic Preservation Treatments
- Refocusing on Traditional Storefront Elements
- Façade Restoration Suggestions
- Historic Paint Palettes

# Corridor Solutions/Suggestions

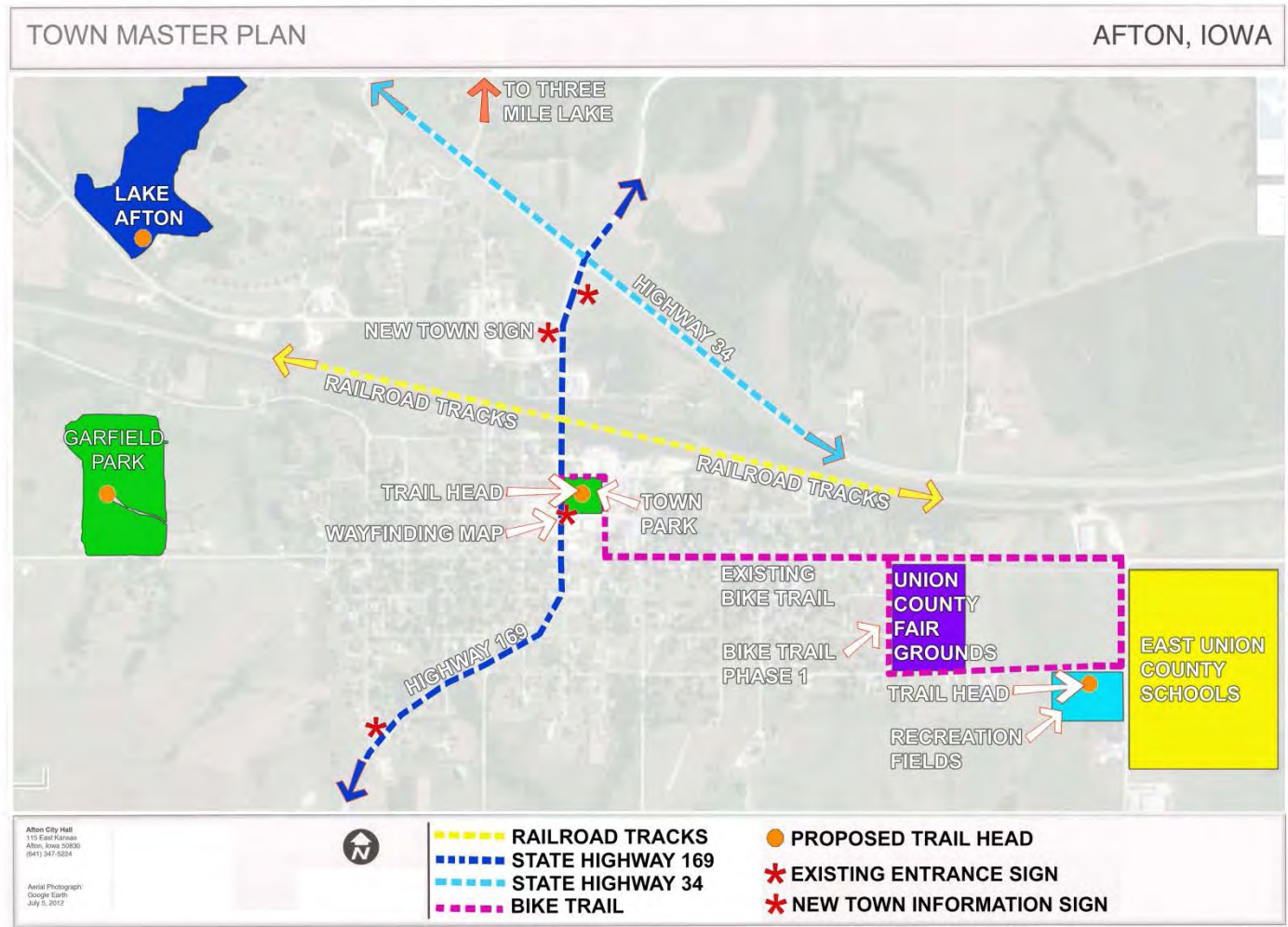
## 5. Economic Development

- Target Businesses for Infill Sites
- Entice Visitors with Identity on Welcome Sign
- Identify & Target Businesses for Empty Storefronts
- Fill Every Display Window
- Retail Brochure
  - At Bait Shop
  - 3 Mile Lake
  - City Hall
  - Casey's

# Afton Master Plan

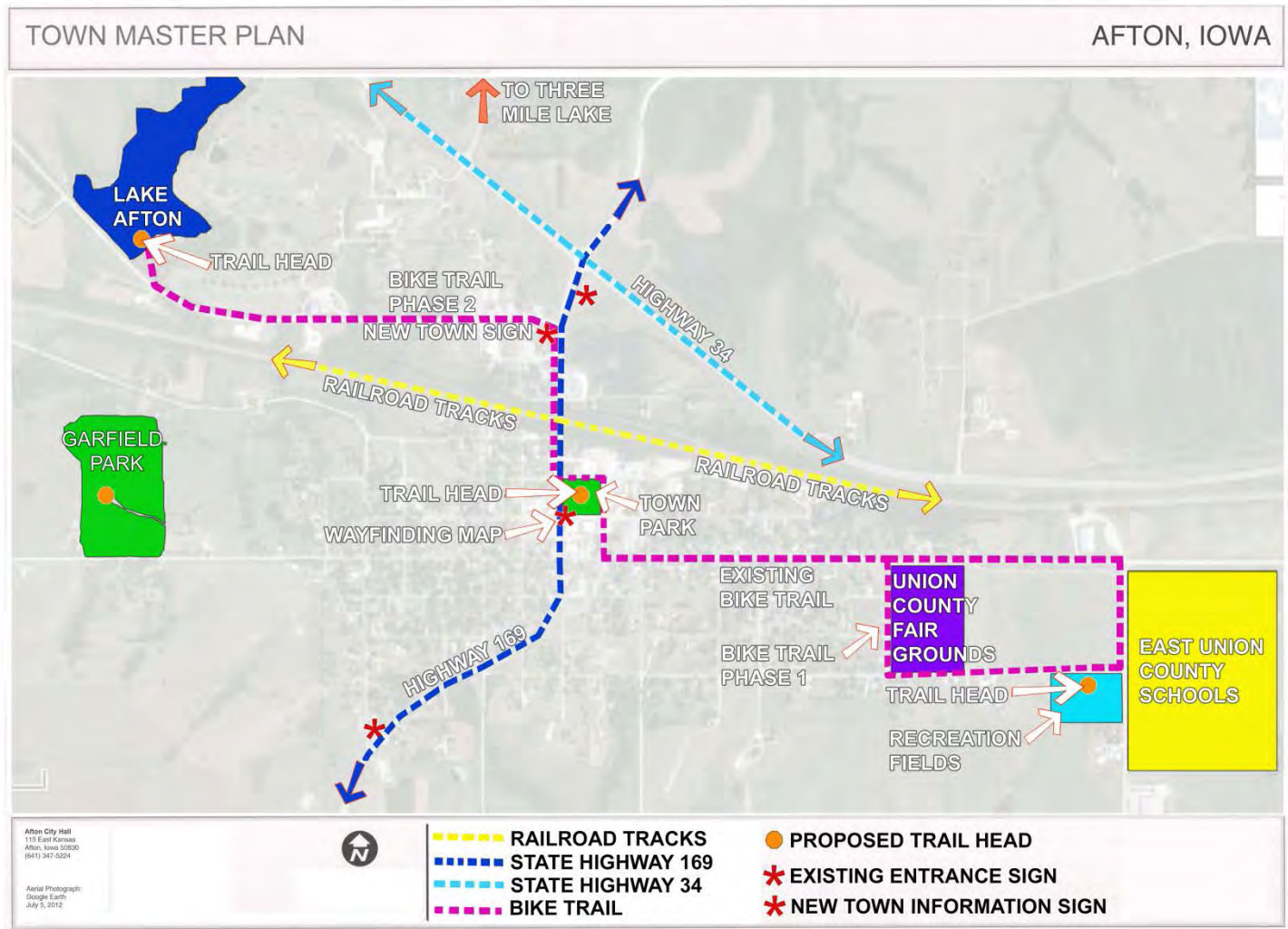


# Afton Master Plan – Phase 1





# Afton Master Plan – Phase 2

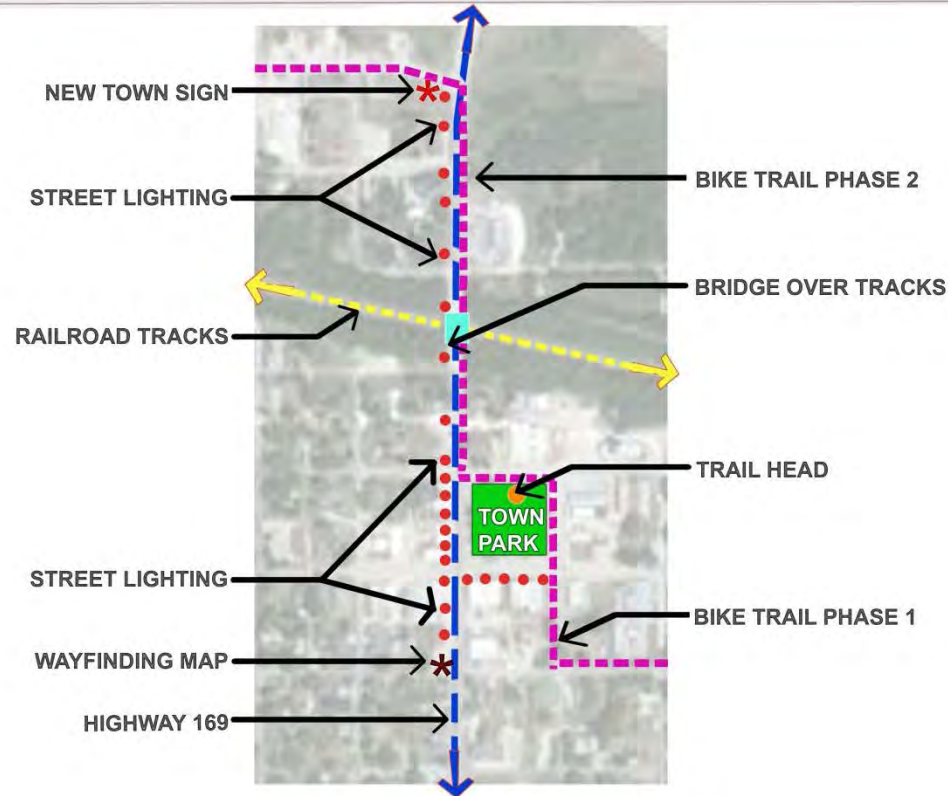




# Afton Entrance Corridor

ENTRANCE CORRIDOR

AFTON, IOWA



Afton City Hall  
115 East Kansas  
Afton, Iowa 50836  
(841) 347-5224

Aerial Photograph  
Google Earth  
July 5, 2012



--- RAILROAD TRACKS  
--- STATE HIGHWAY 169  
--- STATE HIGHWAY 34  
--- BIKE TRAIL

● PROPOSED TRAIL HEAD  
\* EXISTING ENTRANCE SIGN

# Street Lighting Inspiration



East Village –  
Des Moines, IA



Existing Afton Square Lighting

# Welcome Sign Improvements

# Welcome Sign Improvements



- Propose adding to existing sign
- Add visual elements for Identity
- Future additive treatment to promote Tourism and Econ. Dev.



# South Welcome Sign Improvements





# South Welcome Sign Improvements



# South Welcome Plant Recommendations

Fat Albert Blue Spruce  
*Picea pungens* 'Fat Albert'



Hamlen's

Karl Foerster Feather Reed Grass  
*Calamagrostis acutiflora* 'Karl Foerster'



Maple Grove NC

Calgary Carpet Juniper  
*Juniperus Sabina* 'Monna'



Monrovia

Daffodils



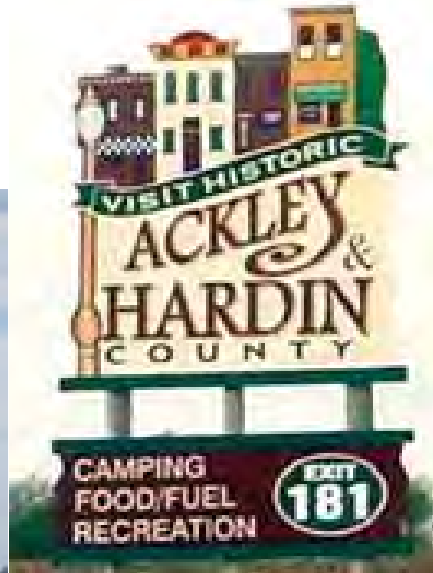
Rozanne Geranium



White Flower Farm



# Billboard Sign Examples



# Billboard Welcome Sign Improvements





# Billboard Welcome Sign Improvements





# Signage Identity Elements



- The Lakes
- Rolling Hills
- Historic Buildings

# Wayfinding Sign Improvements

# Wayfinding Sign Improvement Examples



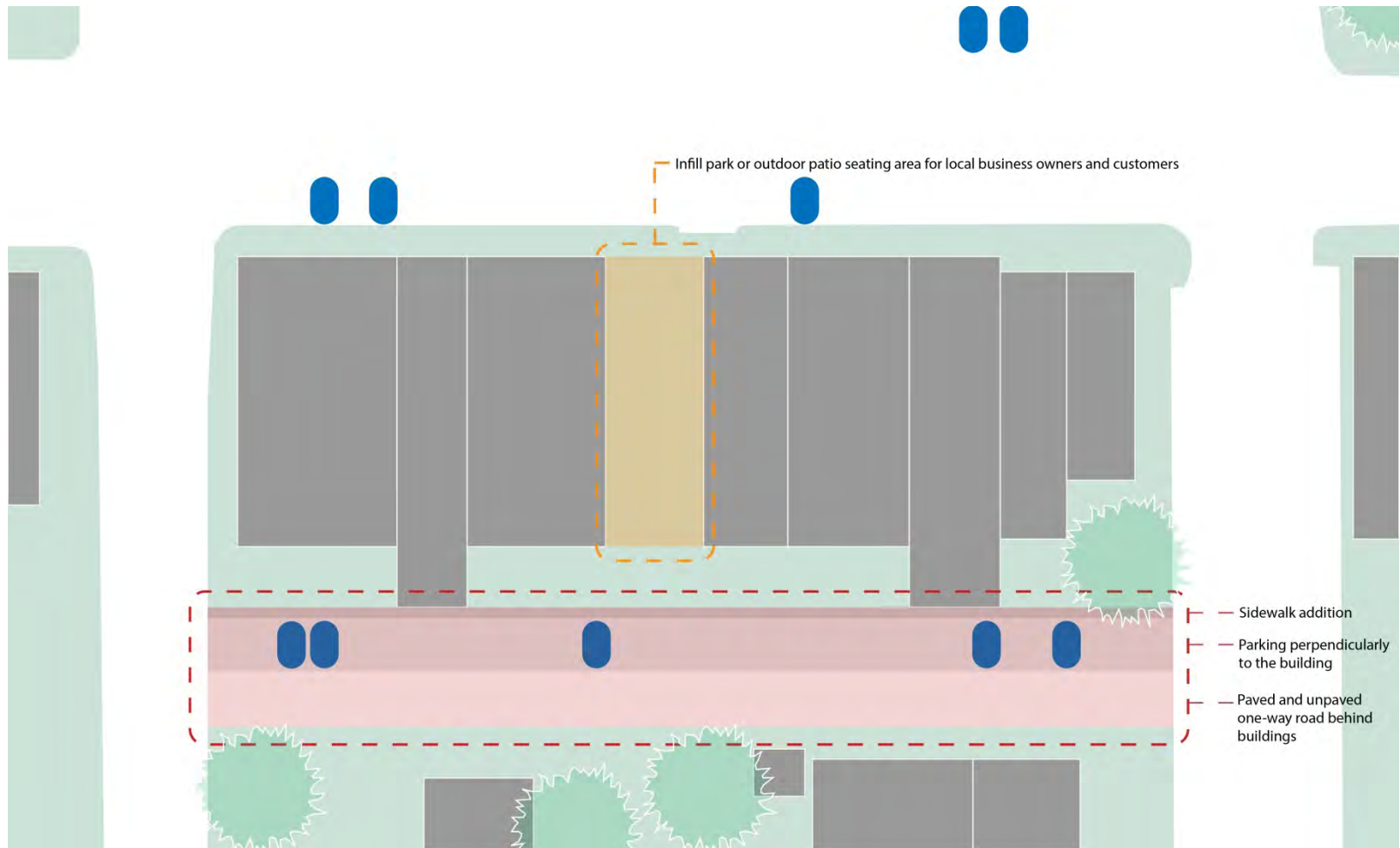
# Alley Improvements



# Alley Improvements

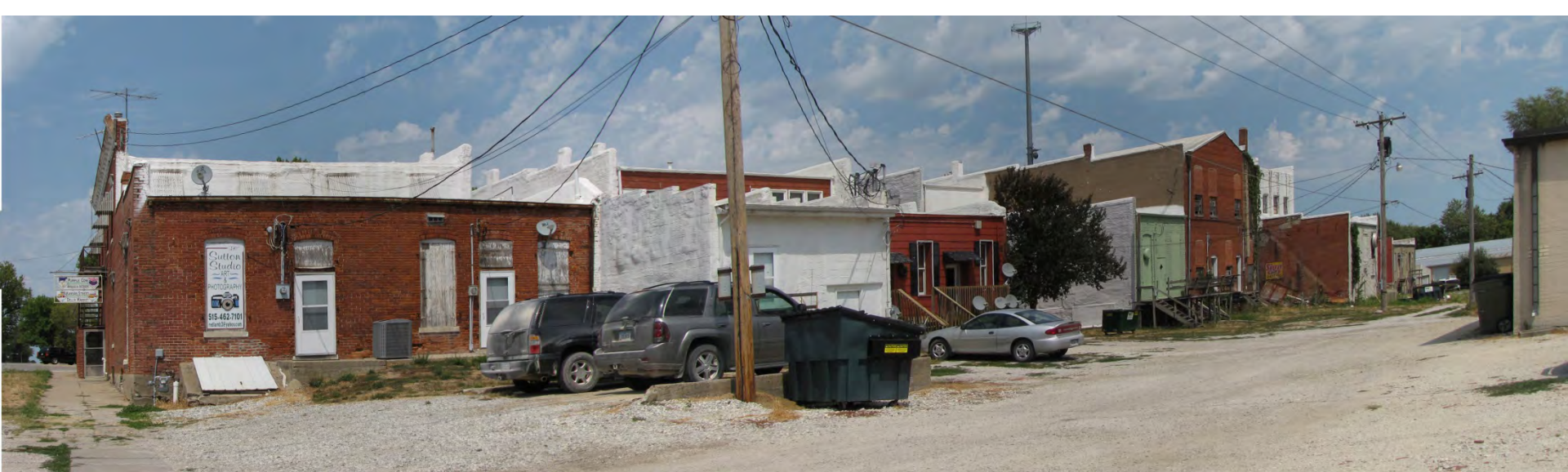
- Paint rear Walls to Compliment front Facades
- Add Business Signs
- Add Plant/Flower beds
- Add Screen Wall if needed
- Improve/Restore rear Doors and Windows
- Screen Dumpsters and AC Units
- Improve Parking Areas – designate stalls

# Alley Improvements



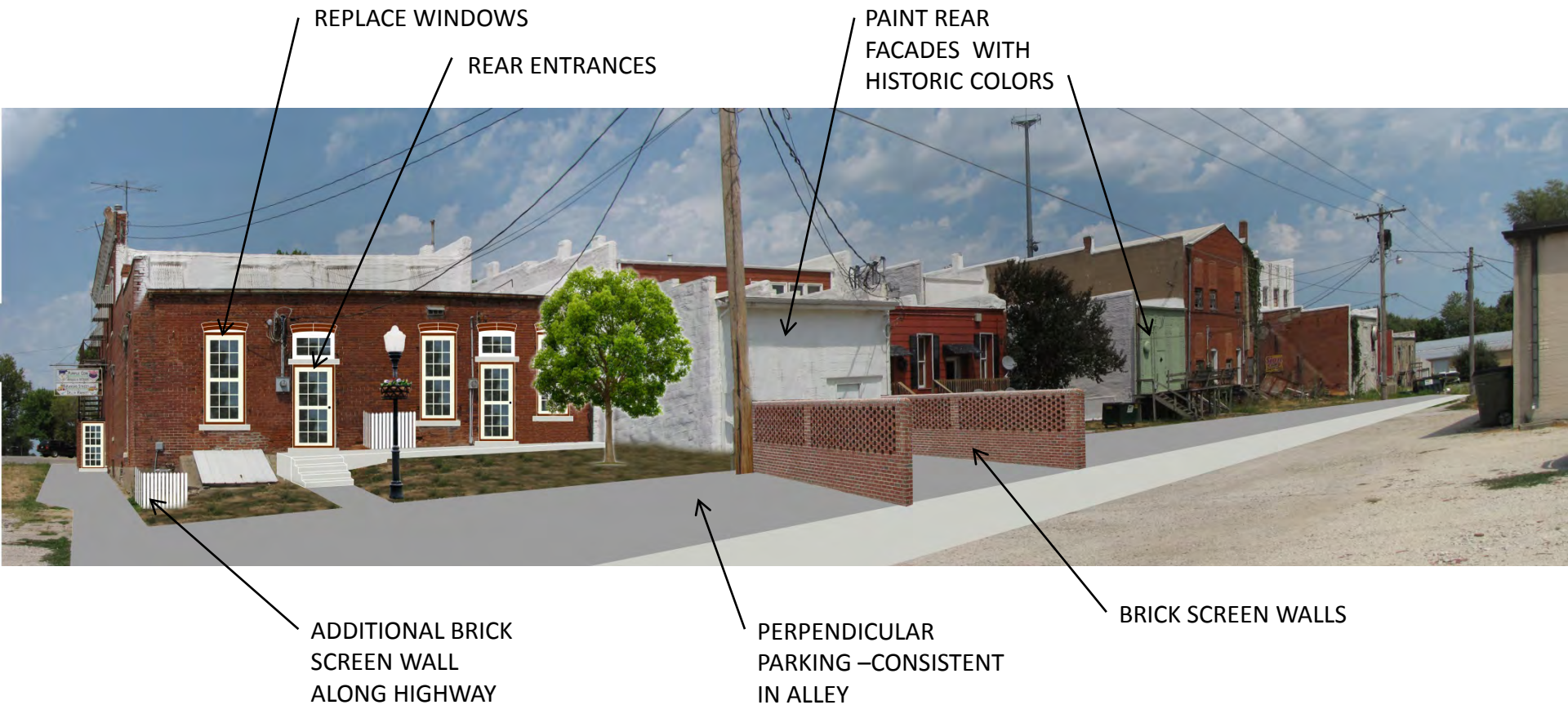


# Alley Improvements



- Back Alley View greets Visitors from the south

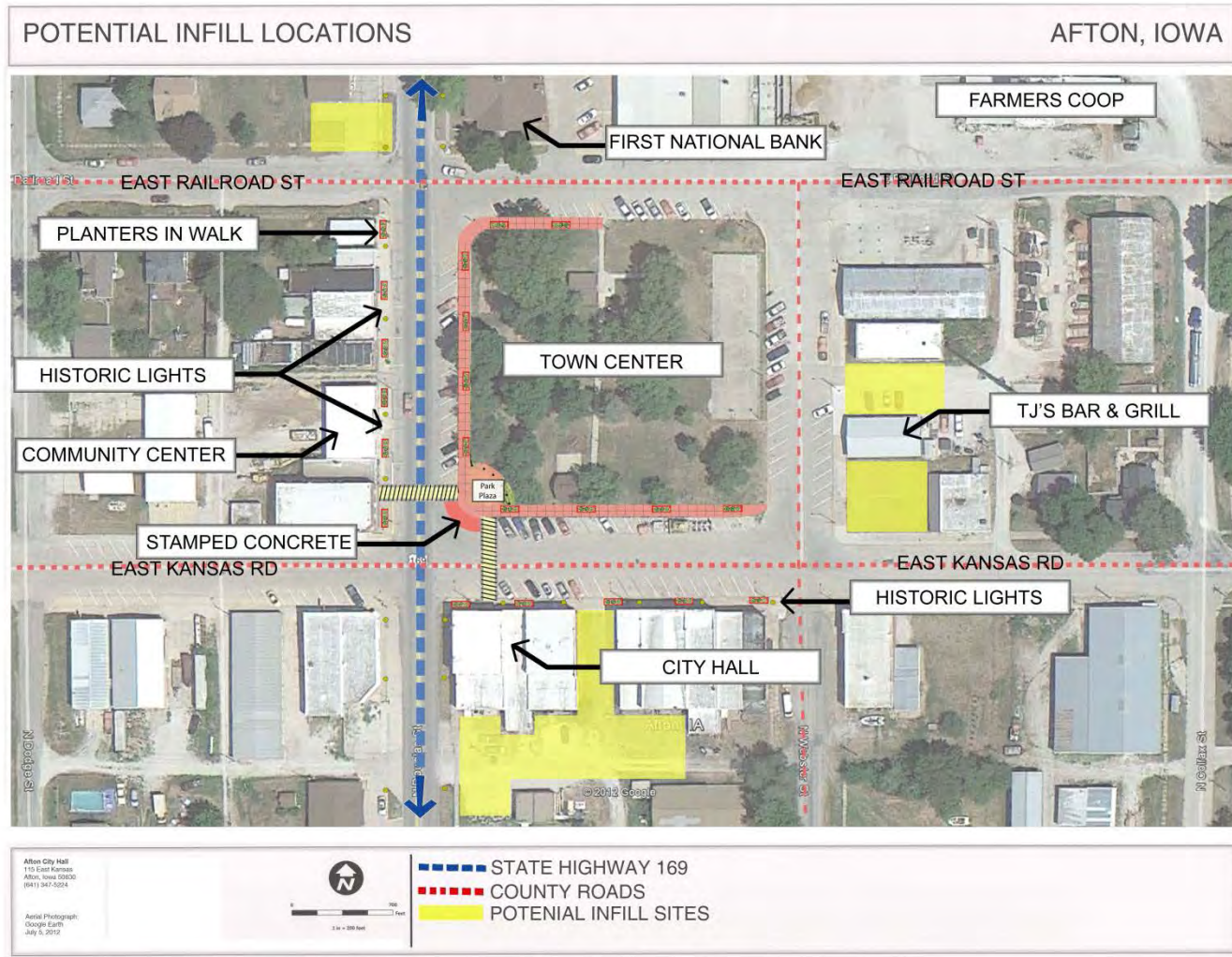
# Alley Improvements



# Streetscapes and Infill



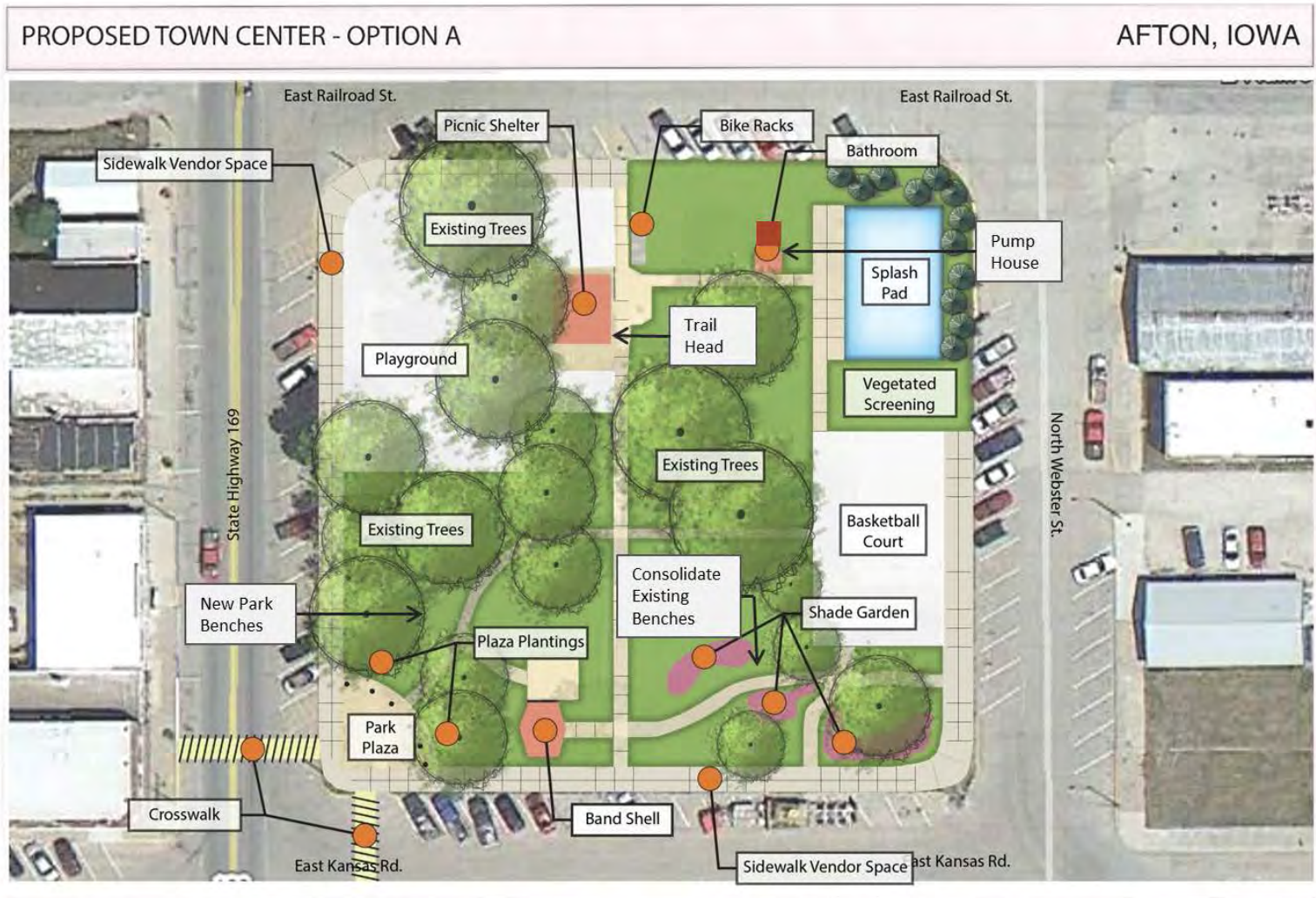
# Afton Potential Infill Locations





# Town Square Improvements

# Afton Proposed Town Square – Option A



# Afton Proposed Town Square – Option B





# Existing Splash Pad Concept



# Town Square - Splash Pad Inspiration





# Town Square – Splash Pad Inspiration



# Town Square Vendor Space





# Town Square Vendor Space



# Town Square Structure Improvements



- Paint to visually connect
- Design Trail Heads structures to tie in



# Town Square Structure Improvements



**Park Shelter Looking Southeast**



# Town Square Structure Improvements



**SW Corner Entry Plaza**

# Proposed Trail Head Structure



# Storefront Evaluation



# Cost of an Empty Storefront on Main Street

## Averages for a Typical Storefront

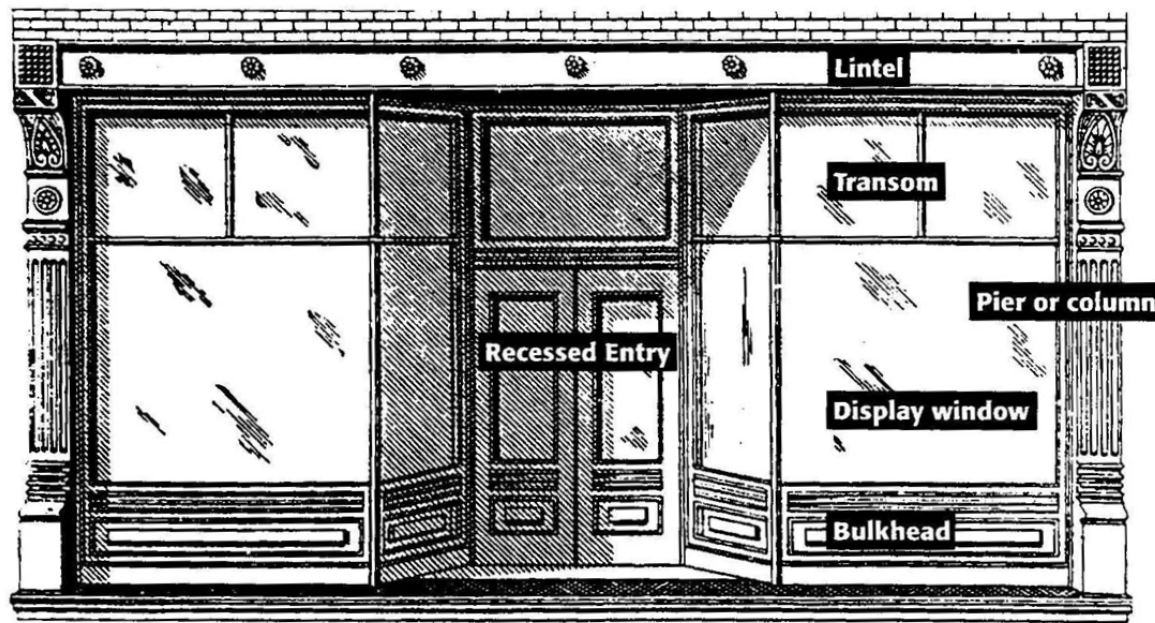
- \$250,000 lost sales
- \$16,250 lost employee payroll
- \$15,000 lost rents
- \$24,750 lost business profit
- \$1,500 lost property taxes
- \$5,100 lost bank deposits
- \$15,000 lost bus. loan demand
- \$12,500 lost sales tax to city
- \$18,900 lost household income going elsewhere
- \$5,500 lost utilities
- \$3,500 lost advertising



# Traditional Façade Elements



# Storefronts – Retail Façades



**TYPICAL STOREFRONT FEATURES**





# Storefront Improvements



Color visualizer at [www.sherwin-williams.com](http://www.sherwin-williams.com)

Afton Community Design Program

©2012 Iowa Architectural Foundation



# Storefront Improvements



Façade Painting

Historic Paint  
Palette Colors

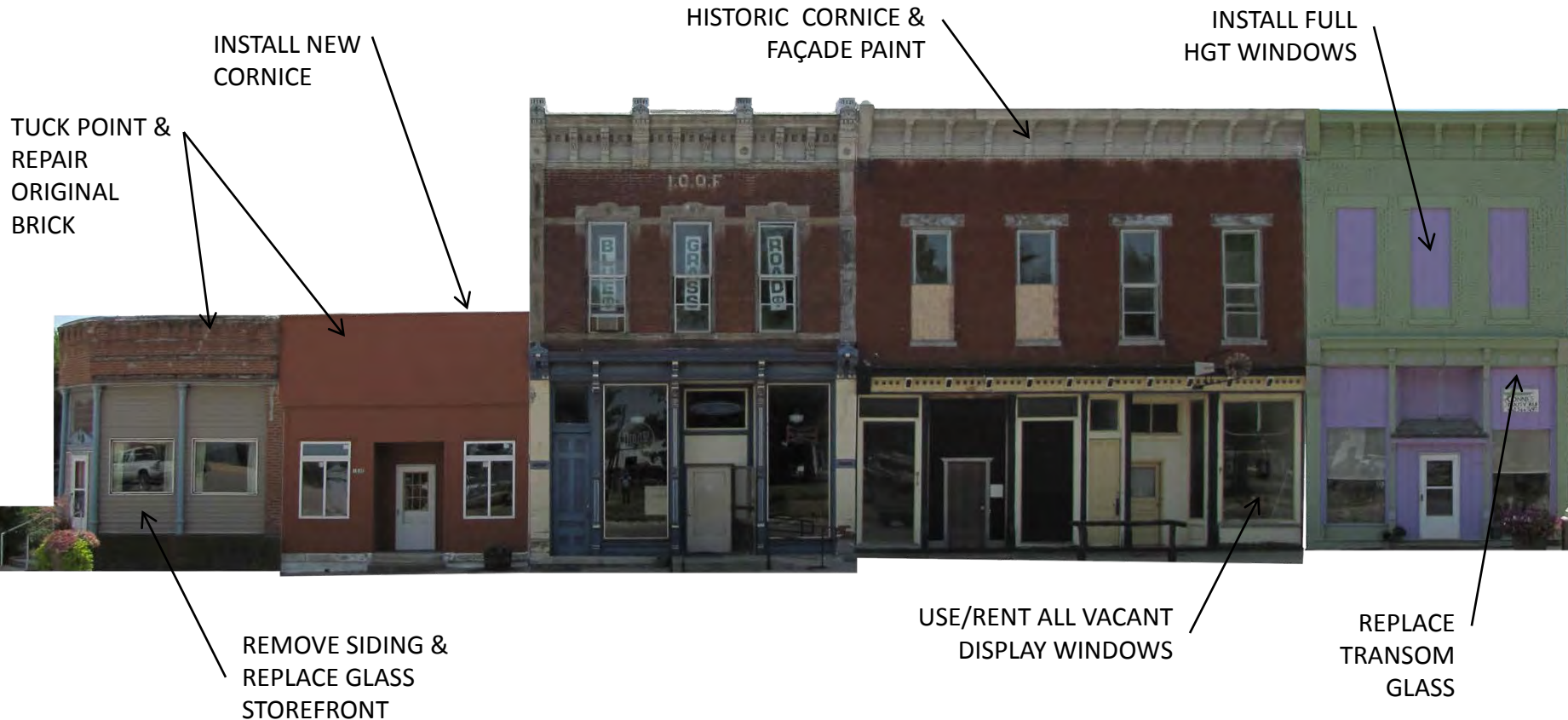
Color visualizer at [www.sherwin-williams.com](http://www.sherwin-williams.com)



# Existing Façade – South Square



# Façade Recommendations – South Square



# Existing Façade – South Square





# Façade Update— South Square



Afton Community Design Program

©2012 Iowa Architectural Foundation

# Façade Update – South Square





# Existing Façade – South Square Hair Salon



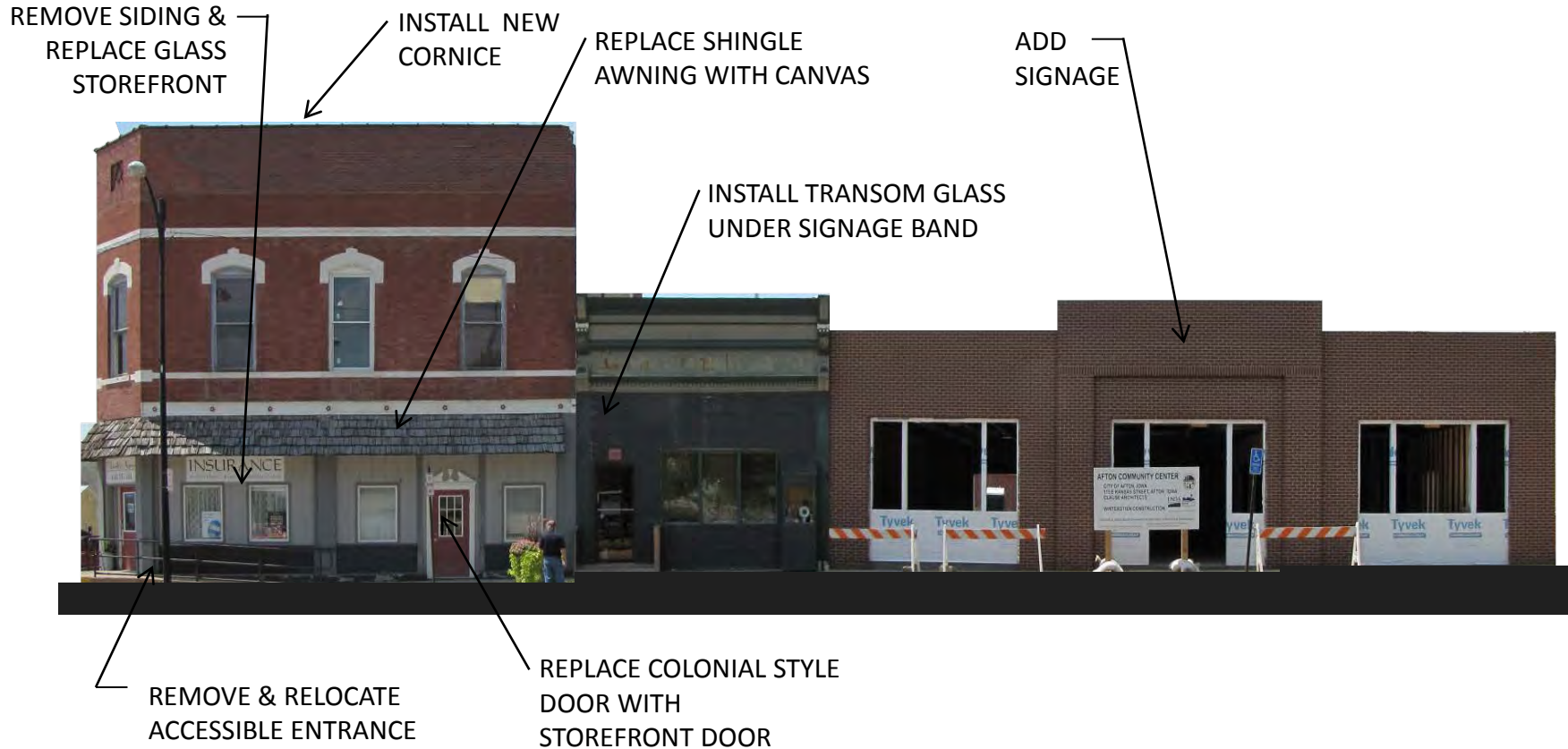


# Façade Update – South Square Hair Salon

# Façade Recommendations – South Square

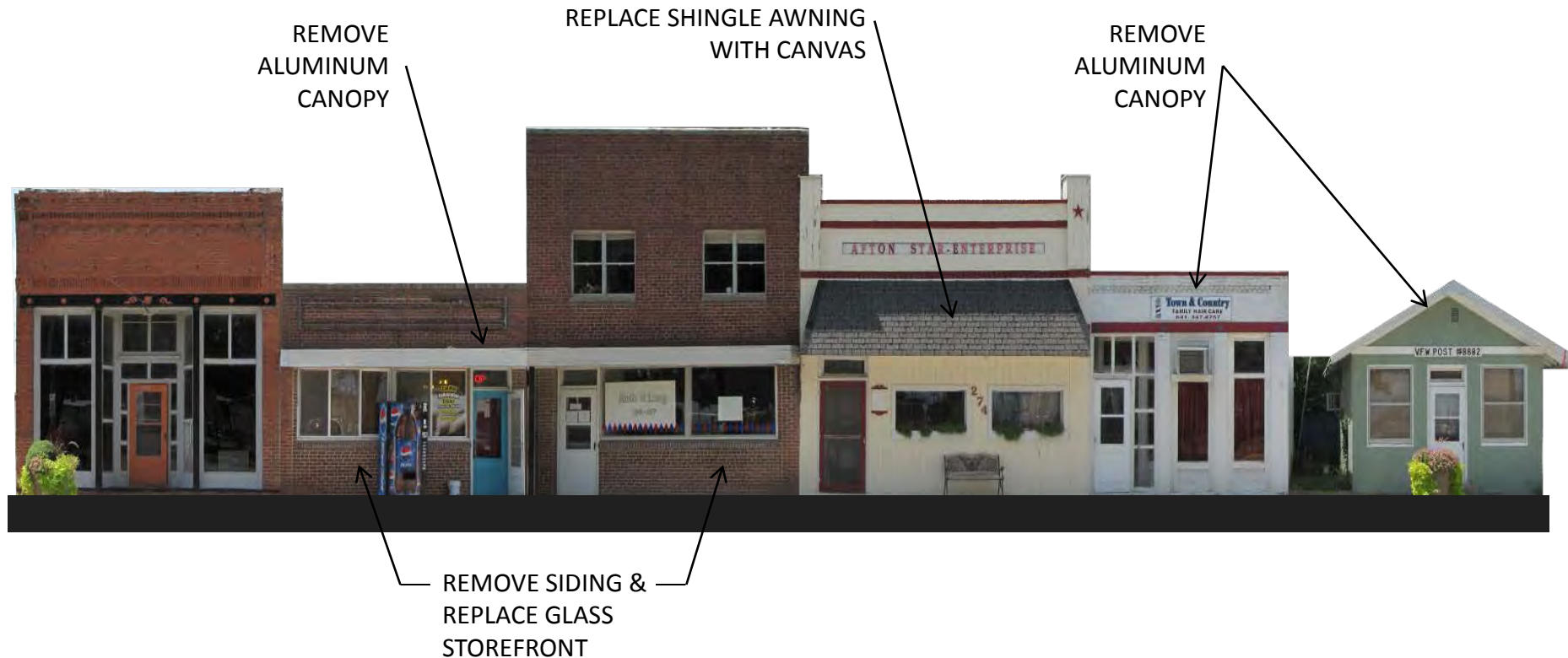


# Façade Recommendations – West Square





# Façade Recommendations – West Square



# Façade – West Square Afton Star Building



# Façade Update – West Square Afton Star Building





# Storefront Signage Examples



Pedestrian and Car-friendly  
Signage Example

# Street Accessory Items



Trash Receptacle



Bench



Sidewalk  
Planters



Cigarette  
Disposal

# Street Accessory Items



Bike Racks



# Phase One Recommendations

- Minimal Storefront Improvements
  - Create Façade Improvement Guidelines and Implementation Timeline – use to qualify for low interest loan
  - Coordinate Paint Schemes Using Historic Palette
  - Fill Vacated Storefront Windows – rent display space
    - Local School Art
    - Local Artisans
    - Antique Vendors
- Minimal Alley Improvements
  - Clean-up
  - Paint Rear of Buildings
  - Upgrade Paint Coating Colors

# Phase One Recommendations

- Town Square Improvements
  - Update Existing Shelter Structures with Color Scheme
  - Complete Splash Pad / Pumphouse
  - Landscape Corner Near Basketball Court
  - Add SE Corner Shade Garden -Create Paver Trail
    - Move Existing Memorial Benches to Garden Area
- Update Gateway Billboard Graphics
- Landscape South Entrance Sign
- Form Committees for Beautification Projects

# Phase Two Recommendations

- Begin Storefront Improvements/Renovations
- Town Square Improvements
  - Update Lighting and Electrical
  - Install SW Corner Plaza - Relocate War Memorial
  - Install Vendor Sidewalk Area
- Promote Economic Development Expansion
  - Start a Chamber of Commerce
  - Hire Dedicated Grant Writer for Major Project Funding
  - Work on Developing Town Identity



# Phase Three Recommendations

- Update Corridor Street Lighting
  - Use Existing Square Lighting as Inspiration
  - Allow for Both Street and Pedestrian Lighting
  - Lighting Should Have Capability to Include Banners
    - Use Perforated Banners to Reduce Wind Damage
- Begin Construction of City-wide Trail System
  - Construct Trailheads in Town Square and School Recreation Area
- Plan Ahead for Building In-fills around Town Square

# Afton Charrette Team

- Joshua Arguello – Iowa State University Student
- Zijie Cao – Iowa State University Graduate
- Clark Colby – Angelo Architectural Associates
- Aaron Fulton – Iowa State University Student
- Kristen Greteman, Kaufman Construction
- Edward Matt – Genesis Architectural Designs
- Kristin McHugh-Johnston – Iowa Architectural Foundation
- Chance Jones – Iowa State University Student
- Tina Rhodes – Genesis Architectural Design
- Abby Rodewald - Confluence
- Edd Soenke – The Design Partnership
- Molly Wood – Rennebohm & Associates, LLC
- Xie Wu – Iowa State University Graduate

# Thank You



# Afton, Iowa

Iowa Architectural Foundation  
Final Presentation  
Community Design Program  
December 3, 2012  
[WWW.IOWAARCHFOUNDATION.ORG](http://WWW.IOWAARCHFOUNDATION.ORG)